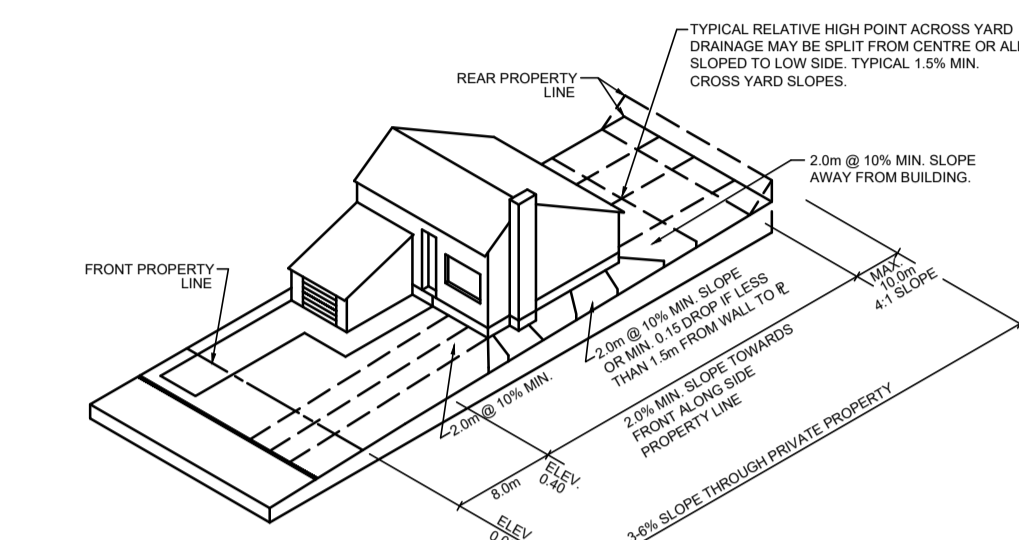
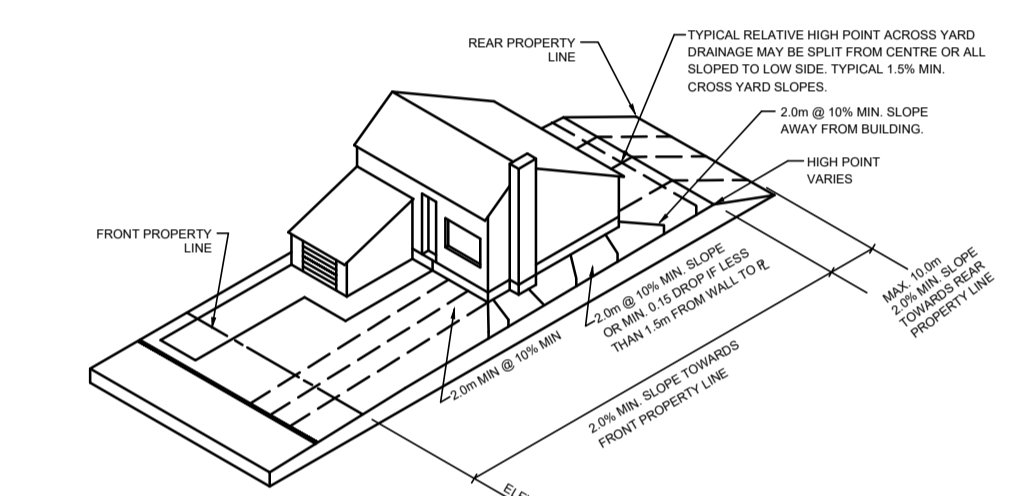


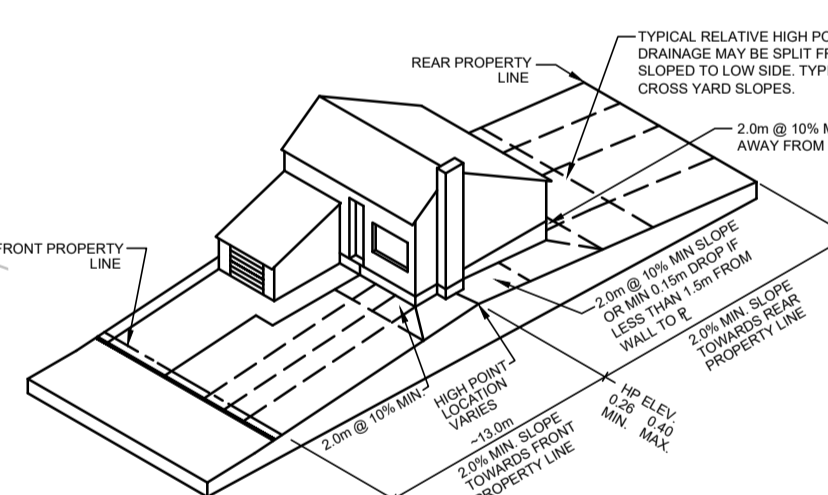
2.0-3.0% OVERALL LOT SLOPE  
REAR TO FRONT DRAINAGE  
TYPE A



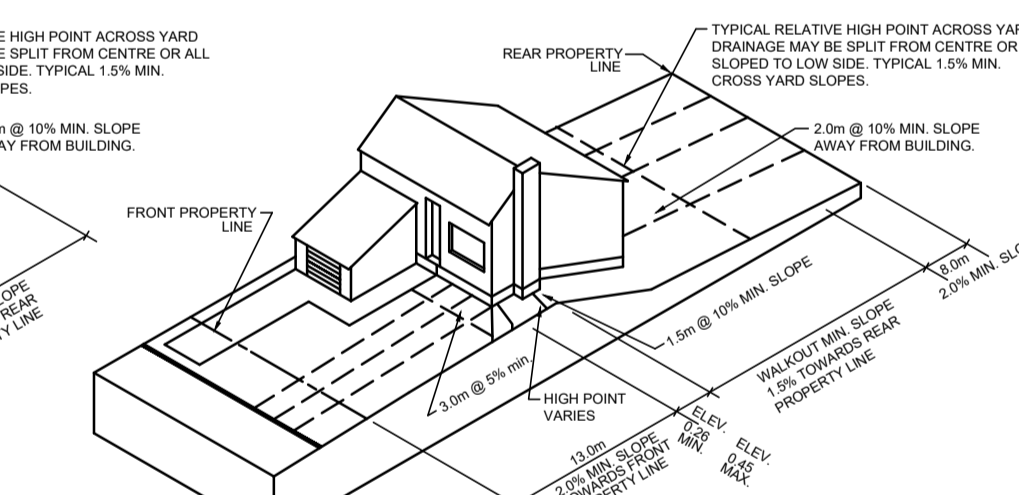
3-6% OVERALL LOT SLOPE  
REAR TO FRONT DRAINAGE  
TYPE B



SPLIT DRAINAGE @ REAR OF LOT  
TYPE R



SPLIT DRAINAGE @ FRONT TO MID LOT  
TYPE S



WALKOUT BASEMENT  
TYPE W

- NOTES:**
- ALL HOUSES MUST HAVE SUMP PUMP FOR WEeping TILE AND DISCHARGE TO FOUNDATION DRAIN SERVICE (WHERE PROVIDED), WITH OVERFLOW DISCHARGE TO SURFACE. (SEE DETAIL ST-7 ON 666-069-TS4)
  - WHERE PART OF THE LOT DRAINS TO THE REAR, ROOF DRAINS MUST BE DIRECTED TO FRONT OF LOT IF AT ALL POSSIBLE.
  - ORIGINAL GROUND CONTOURS ARE FROM FOCUS IN 2006.
  - GRADING PLAN FOR INDIVIDUAL LOTS TO BE SUBMITTED TO CITY BY BUILDER.
  - LOTS MARKED WITH THE SYMBOL  $\bullet$  MAY HAVE BEEN DISTURBED BY ADJACENT UNDERGROUND TRENCHING ACTIVITIES.
  - LOTS MARKED WITH THE SYMBOL  $\star$  HAVE MORE THAN 1.2m OF FILL IN THE BUILDING POCKET. THESE LOTS WILL BE CERTIFIED AS ENGINEERED FILLED VIA LETTER FROM JR PAINE & ASSOCIATES.
  - LOTS MARKED WITH THE SYMBOL  $\#$  ARE TO HAVE A FOOTING DEPTH NO LOWER THAN 300mm ABOVE THE HIGH WATER LEVEL AND THE LOWEST BUILDING OPENING NO LOWER THAN 500mm ABOVE THE HIGH WATER LEVEL.
  - FOR LOTS 60-73 OF BLOCK 11, THE MINIMUM FRONT YARD SETBACK IS 3.0m AND THE CC'S ARE LOCATED 2.2m INTO THE LOT. ALL BUILDERS AND PLOT PLAN REVIEWERS ARE TO CHECK THAT THE PROPOSED HOUSE LOCATION IS SET BACK FAR ENOUGH TO ENSURE THAT NO CC'S END UP UNDER ENTRY STAIRWAYS IF RISERS ARE USED.

INSET "A"  
LOTS 60-73, BLK 11

EXISTING	LEGEND	PROPOSED	FUTURE	EXISTING	PROPOSED	EXISTING	PROPOSED
---	PROPERTY LINE	---	---	---	VALVE	---	MAJOR DRAINAGE PIPE
---	RIGHT OF WAY LINE	---	---	---	HYDRANT	---	PIPE
---	CURB AND GUTTER	---	---	---	MANHOLE	---	DIRECTION OF DRAINAGE
---	SEPARATE WALK	---	---	---	CURB STOP	---	D=0.22
---	ASPHALT TRAIL	---	---	---	CATCH BASIN	---	27.54
---	CONCRETE SWALE	---	---	---	TRANSFORMER	---	28.19
---	LOT GRADES	---	---	---	PEDESTAL	---	SAN SERVICE INVERT AT BASEMENT
---	ORIGINAL GROUND CONTOURS	---	---	---	LIGHT STANDARD	---	STM SERVICE INVERT AT EASEMENT
---	GRASS SWALE	---	---	---	POWER POLES	---	LOT TYPE
				---	MAILBOX	---	
				---	T-BOLLARDS	---	

NO.	REVISION	DATE	BY
3.	2nd SUBMISSION FOR CITY APPROVAL	APR 21/23	NAS
2.	REVISED PER CITY COMMENTS	FEB 28/23	NAS
1.	1st SUBMISSION FOR CITY/CLIENT REVIEW	DEC 22/22	NAS

6	0	10	20	30
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**AI-Terra**  
Engineering Ltd.

**LOT GRADING PLAN**

DESIGN:	NAS	CHECKED:	NAS	JOB NO:	666-069
DRAWN BY:	VM	APPROVED:	KBA	DRAWING NO.	
SCALE:	1:750	DATE:	DECEMBER 2022		666-069-G5.02

**SOUTHFORT MEADOWS**  
STAGE 9  
IN  
SOUTHFORT  
BY  
SOUTHFORT  
DEVELOPMENT CORP.