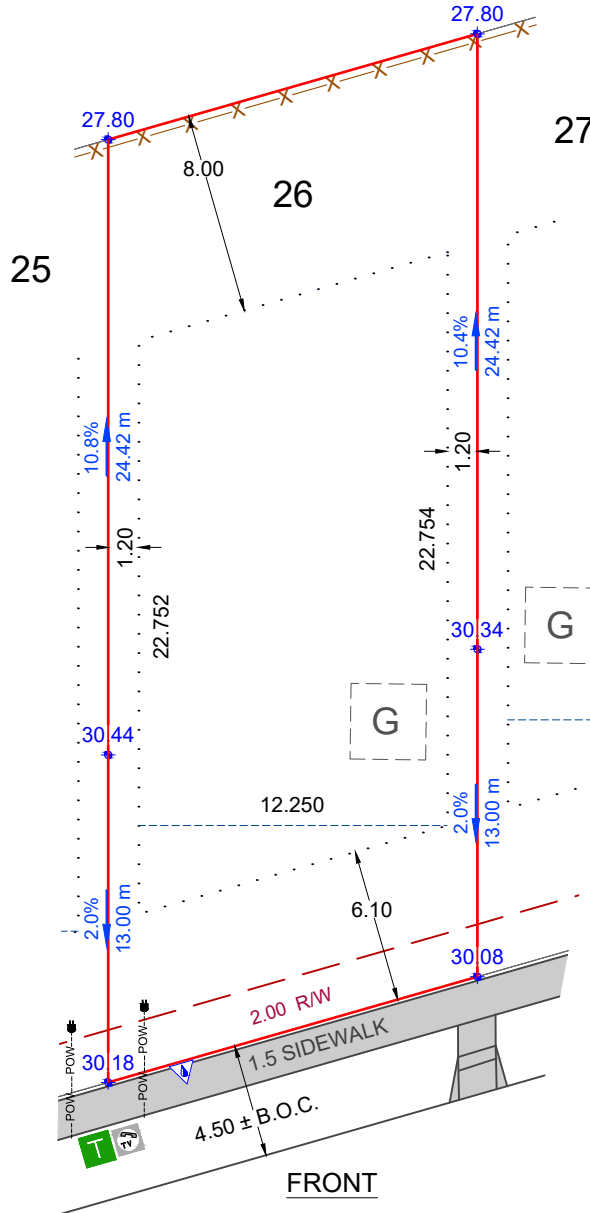
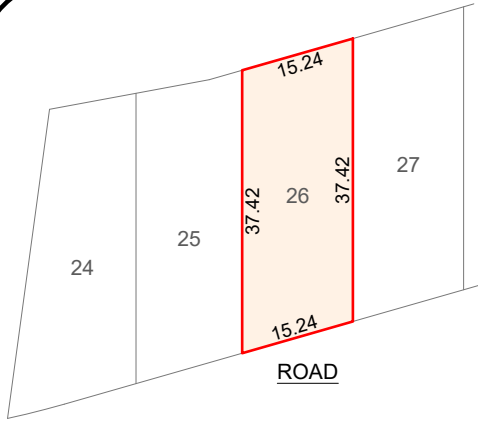


POCKET PLAN



| ELEVATION DETAILS | |
|----------------------------------|-------|
| HOUSE TYPE: | |
| FINISHED FLOOR: | |
| BOTTOM OF FOOTING: | |
| BASEMENT HEIGHT: | |
| FINISHED GRADE AT-FRONT STEP: | |
| FINISHED GRADE AT-BACK OF HOUSE: | |
| GRADE BELOW-BACK/SIDE DOOR SILL: | |
| GRADE BELOW-BASEMENT WINDOWS: | |
| TOP OF CONCRETE BASEMENT WALL: | |
| GARAGE FLOOR: | |
| SANITARY SEWER SERVICE INVERT: | 27.33 |
| FOOTING SIZE: | |

NOTES

- BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVELS MEET ALL CODES.
- BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED BY THE LOCAL APPROVING AUTHORITY
- ALL DISTANCES SHOWN ARE IN METER AND DECIMALS THEREOF.
- INFORMATION TO BE USED AS A GUIDELINE ONLY, AND IS SUBJECT TO CHANGE.
- RAIN WATER LEADERS TO BE DETERMINED. (NO INFORMATION ON ENGINEERING, CONTACT ENGINEER PRIOR TO CONSTRUCTION)**
- INFORMATION BASED ON UNREGISTERED PLAN, SUBJECT TO CHANGE.
- NOTE: DEVELOPER FENCE WILL BE CONSTRUCTED WITHIN THE BOUNDARY OF THIS LOT.**

| DETAILS | |
|-----------------------------|---|
| - LOT AREA: | 548.20 m ² (5900.8 ft ²) |
| - LOWEST BOTTOM OF FOOTING: | 27.45 |
| - LOWEST BUILDING OPENING: | 27.65 |
| - STORM = | 27.98 |

| LEGEND | | | | | |
|------------------------|--|---------------------------|--|------------------------|------------------------------|
| PROPOSED CLEAN OUT | | PROPOSED HYDRANT | | PROPOSED BACK OF CURB | B.O.C. |
| PROPOSED STREET LIGHT | | PROPOSED SERVICE PEDESTAL | | PROPOSED BACK OF WALK | B.O.W. |
| PROPOSED C.C. LOCATION | | PROPOSED POWER SERVICE | | PROPOSED LIP OF LANE | L.O.L. |
| PROPOSED TRANSFORMER | | PROPOSED FENCE LINE | | PROPOSED UTILITY VAULT | |
| | | | | | DESIGN GRADE ELEVATION 00.00 |
| | | | | | AS-BUILT ELEVATION 00.00 |
| | | | | | PROPOSED ELEVATION 00.00 |
| | | | | | CENTERLINE ELEVATION CL 0.0 |

| LEGAL INFORMATION | | |
|-------------------|-------------------|--------------|
| LOT | BLOCK | PLAN NUM. |
| 26 | 11 | UNREGISTERED |
| CIVIC ADDRESS: | | |
| | | |
| LOCATION | SUBDIVISION | |
| FORT SASKATCHEWAN | SOUTHFORT MEADOWS | |



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 10704 - 176TH STREET NW
 EDMONTON, ALBERTA T5S 1G7



| DWG DETAILS | | | |
|----------------|------------|-------------|-------------|
| Rev. No. | Date: | Drafted By: | Description |
| PK | May. 5, 23 | TBIRCH | |
| BUILDER/OWNER: | | | |
| MODEL: | | | |
| JOB NUM.: | | | |
| LOT ZONING: | R1 | SCALE: | 1:300 |